



भारत सरकार
वाणिज्य एवं उद्योग मंत्रालय
वाणिज्य विभाग
विकास आयुक्त का कार्यालय
नोएडा विशेष आर्थिक क्षेत्र
नोएडा-दादरी रोड, फेज-2, नोएडा - 201305 (उत्तर प्रदेश)
दूरभाष (जोन कार्यालय): 0120 - 2567268-70 (3 लाइनें), फैक्स: 2562314, 2567276
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फा०सं०.10/06/2022-SEZ/

दिनांक : 10/11/2023

सेवा में,

(ई मेल के माध्यम से)

1. निदेशक, वाणिज्य विभाग, वाणिज्य एवं उद्योग मंत्रालय, भारत सरकार, उद्योग भवन, नई दिल्ली- 110001 ।
2. अतिरिक्त महानिदेशक विदेश व्यापार, वाणिज्य एवं उद्योग मंत्रालय, 'ए' विंग, इन्द्रप्रस्थ भवन, आई पी एस्टेट, नई दिल्ली - 110002 ।
3. आयुक्त, सीमा शुल्क, नोएडा सीमा शुल्क आयुक्तालय, इनलैंड कंटेनर डिपो, तिलपता, दादरी, गौतम बुध नगर, उत्तर प्रदेश - 201306.
4. प्रधान आयुक्त, आयकर, प्लॉट सं- ए-2 डी, आयकर भवन, सेक्टर - 24, नोएडा ।
5. उपसचिव आई एफ - 1, बैंकिंग प्रभाग, आर्थिक मामलों का विभाग, वित्त मंत्रालय, भारत सरकार, तृतीय तल, जीवन दीप बिल्डिंग संसद मार्ग, नई दिल्ली।
6. मुख्य कार्यकारी अधिकारी, न्यू ओखला औद्योगिक विकास प्राधिकरण, मुख्य प्रशासनिक भवन, सेक्टर - 6, नोएडा (उत्तर प्रदेश)।
7. मुख्य कार्यकारी अधिकारी, ग्रेटर नोएडा औद्योगिक विकास प्राधिकरण, प्लॉट नं 01, नॉलेज पार्क -4, ग्रेटर नोएडा, गौतम बुध नगर, (उत्तर प्रदेश)।
8. महाप्रबंधक, जिला उद्योग केंद्र, कलेक्ट्रेट के पास, सूरजपुर, ग्रेटर नोएडा (उत्तर प्रदेश) ।
9. उपाध्यक्ष, बुलन्दशहर खुर्जा विकास प्राधिकरण, कालिन्दी कुञ्ज, जी टी रोड, खुर्जा - 203131 (उत्तर प्रदेश)।
10. संबंधित विशेष आर्थिक क्षेत्र विकासकर्ता ।

विषय: नोएडा, ग्रेटर नोएडा और खुर्जा में स्थित निजी विशेष आर्थिक क्षेत्रों के संबंध में श्री ए० बिपिन मेनन, विकास आयुक्त, नोएडा विशेष आर्थिक क्षेत्र की अध्यक्षता में अनुमोदन समिति की दिनांक 02/11/2023 को पूर्वाह्न 11:00 बजे आयोजित बैठक का कार्यवृत्त - एतद संबंधी।

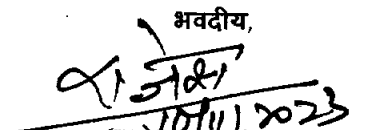
महोदय,

उपरोक्त विषय के सन्दर्भ में नोएडा, ग्रेटर नोएडा और खुर्जा में स्थित निजी विशेष आर्थिक क्षेत्रों के संबंध में श्री ए० बिपिन मेनन, विकास आयुक्त, नोएडा विशेष आर्थिक क्षेत्र की अध्यक्षता में अनुमोदन समिति की 02/11/2023 को पूर्वाह्न 11:00 बजे आयोजित बैठक का कार्यवृत्त संलग्न है।

संलग्नक : उपरोक्त

प्रतिलिपि:-

1. सम्बंधित निर्दिष्ट अधिकारी ।
2. सहायक विकास आयुक्त (प्रशासन) - कार्यवृत्त की एक प्रति हिंदी अनुवाद हेतु संलग्न है ।

भवदीय,

(राजेश कुमार)
उप विकास आयुक्त

NOIDA SPECIAL ECONOMIC ZONE**Minutes of the Approval Committee meeting in respect of private SEZs located in Noida, Greater Noida & Khurja held under the Chairmanship of Shri A. Bipin Menon, Development Commissioner, NSEZ at 11:00 AM on 02.11.2023.**

The following members of Approval Committee participated in the meeting:-

- i. Shri Surender Malik, Joint Development Commissioner, NSEZ.
 - ii. Shri Chaman Lal, Assistant DGFT, O/o DGFT, CLA, New Delhi.
 - iii. Shri Mayank, Assistant Manager, DIC, Noida
 - iv. Shri Vishambar Jha, Income Tax Officer, Noida.
- Besides, during the meeting i) Shri Rajesh Kumar, DDC, ii). Shri Amit Gupta, Specified Officer, iii) Shri Prakash Chand Upadhyay, ADC, iv) Shri Pramod Kumar, ADC and; iv) Shri Anuj Dixit, UDC were also present to assist the Approval Committee. It was informed that the quorum was available and the meeting could proceed.
 - At the outset, the Chairman welcomed the participants. After a brief introduction, each item included in the agenda was taken up sequentially. After detailed deliberations amongst the members of the Approval Committee as well as interaction with the applicants / representatives of the developers / units, wherever required, the following decisions were taken unanimously:-

Item No. 1. Ratification of the Minutes of the Approval Committee meeting held on 05.10.2023:-

As no reference in respect of the decisions of the Approval Committee held on 05.10.2023 were received from any of the members of the Approval Committee or trade, therefore, Minutes of the Meeting held on 05.10.2023 were ratified.

Item No.2: Proposals for approval of list of materials for authorized operations:-**2.1: M/s. Coforge Limited, Developer**

2.1.1. The Approval Committee discussed the proposal in detail and after due deliberations approved the proposed list of materials proposed by M/s. Coforge Limited, Developer to carry on following authorized operations in their IT/ITES at Plot No. TZ-02 & 2A, Sector-Techzone, Gr. Noida (Uttar Pradesh):-

S. No.	Authorized Operation	Sl. No. at default list of Autho. Opr. as per Inst. No. 50 & 54	Estimated Cost (Rs. in lakhs)
i.	Construction of all types of building in processing area as approved by the Unit Approval Committee.	22	58.82
		Total:	58.82

2.1.2. The approval is subject to the condition that Specified Officer shall ensure that procurement of products 'Restricted / Prohibited' for import shall not be allowed.

2.2: M/s. HCL Technologies Limited, Developer

2.2.1. Shri D.K. Sharma, Associate Director & Shri Vinod Kumar Singh, Associate Director of M/s. HCL Technologies Ltd. joined the meeting through video conferencing and explained the requirement of proposed materials.

2.2.2. The Approval Committee discussed the proposal in detail and after due deliberations approved the proposed list of materials proposed by M/s. HCL Technologies Limited, Developer to carry on following authorized operations in their IT/ITES at Plot No. 3A, 3B & 2C, Sector- 126, Noida (Uttar Pradesh):-

S. No.	Authorized Operation	Sl. No. at default list of Autho. Opr. as per Inst. No. 50 & 54	Estimated Cost (Rs. in lakhs)
i.	Roads with Street lighting, Signals and Signage.	01	13.50
ii.	Fire protection system with sprinklers, fire and smoke detectors.	07	145.92
iii.	Air Conditioning of processing area.	21	507.18
iv.	Power (including power backup facilities) for captive use only.	23	339.98
v.	Construction of all types of building in processing area as approved by the Unit Approval Committee.	22	390.74
vi.	Water treatment plant, water supply lines (dedicated lines up to source), sewage lines, storm water drains and water channels of appropriate capacity.	02	97.76
vii.	Telecom and other communication facilities including internet connectivity.	05	689.29
viii.	Access control and monitoring system	24	196.72
		Total:	2381.09

2.2.3. The approval is subject to the condition that Specified Officer shall ensure that procurement of products 'Restricted / Prohibited' for import shall not be allowed.

2.3: M/s. Arshiya Northern FTWZ Limited, Developer

2.3.1. M/s. Arshiya Northern FTWZ Limited, Developer of Multi Sector SEZ at Village Ibrahimpur, Junaidpur Urf Maujpur, Bulandshar (U.P.) has submitted the proposal for approval of list of materials to carry on default authorized operation in their SEZ:-

S. No.	Name of Authorized Operation	S. No. at default list of Auth. Opr. as per Inst. No. 50 & 54	Estimated Cost (Rupees)
i.	Construction of all types of building in processing area	22	5.29
ii.	Electrical, Gas and Petroleum Natural Gas Distribution Network including necessary sub-stations of appropriate capacity, pipeline	04	116.79

network etc.		
	Total:	122.08

2.3.2. The developer has also submitted a copy of letter dated Nil of Mr Bhuvan Madan, Insolvency Resolution Professional (IRP) of Arshiya Northern FTWZ Ltd., addressed to DC, NSEZ. Mr Bhuvan Madan, IRP has given their No Objection for the procurement of goods and services by M/s. Arshiya Northern FTWZ Ltd. from DTA supplier as per SEZ Rules, 2006. All material is used for protecting existing assets and keep business as a going concern.

2.3.3. Shri Amitabha Chaudhuri, CEO & Shri Roshal Lal, Senior Manager of M/s. Arshiya Northern FTWZ Ltd. joined the meeting through video conferencing and explained the requirement of proposed materials. As regards payment of outstanding cost recovery charges, the representatives informed that they have requested IRP to release the payment/provide the payment schedule as desired by NSEZ. In this context, it was informed that the IRP will be writing soon to this office.

3.2.3. The Approval Committee discussed the proposal in detail and after due deliberations directed to write a letter to O/o. DC, SEEPZ SEZ to check on the status of any insolvency proceedings against and any action taken thereof by the DC office in respect of M/s. Arshiya International Limited, Developer of FTWZ at Village Sai, Taluka – Panvel, District Raigad, Maharashtra. The Committee empowered office of the DC, NSEZ to take decision in matter on file after receipt of reply from IRP.

Item No.3: Proposals for expansion of area of the unit:-

3.1. M/s. HCL Technologies Limited (Unit-XII)

3.1.1. M/s. HCL Technologies Limited (Unit-XII) has submitted a proposal for expansion of area by addition of '5090.67 Square meter area at 2nd floor of Café 3' and revision in projections, as per details given below, of its unit located in the HCL Technologies Ltd. IT/ITES SEZ at Plot No. 3A, 3B & 2C, Sector-126, Noida (Uttar Pradesh):-

(Rs. in lakhs)

Particulars	Existing approved projections	Proposed revised projections
Projected FOB value of exports	133461.47	143635.85
Foreign Exchange Outgo	2254.76	4359.30
NFE Earnings	131206.71	139276.54
Imported Capital Goods	2919.57	3692.30
Indigenous Capital Goods	2603.78	2934.52
Imported input services	435.19	667.01
Indigenous input services	20604.29	20703.51

3.1.2. Shri D.K. Sharma, Associate Director & Shri Vinod Kumar Singh, Associate Director of M/s. HCL Technologies Limited appears before the Approval Committee and explained the proposal. On being asked by the Committee, the representatives informed that the building plan of the proposed additional location in 'Café 3' is approved as 'Cafeteria building'. The representative informed that the proposed additional area is required by them to accommodate additional employees to fulfill the requirement of their customers. They requested the Committee to approve the proposal with the condition

that they will get revision in building plan of the said 'Café 3' Building.

3.1.3. The Approval Committee discussed the proposal in detail and after due deliberations gave an in principle approval. This approval is subject to the condition that the formal approval shall be issued only after receipt of approval of revised building plan of the said 'Café 3' Building, for undertaking IT/ITES activities by the Unit.

Item No.4: Proposals for inclusion of additional items in LOA:

4. M/s. Arshiya 3PL Services Pvt. Ltd.

4.1.1. M/s. Arshiya 3PL Services Pvt. Ltd. has submitted a proposal for inclusion of following items with HS / Exim Codes, in the LOA dated 30.10.2018 of its unit located in the Arshiya Northern FTWZ Ltd. Free Trade and Warehousing Zone at Village-Ibrahimpur, Junaidpur urf Maujpur, Khurja, Distt- Bulandshahr (U.P.):-

SI. No.	ITC(HS) / Exim Code proposed by the unit	Item description
1.	7616	Other articles of Aluminium
	76161000	Nails, tacks, staples (other than those of heading 83.05), screws, bolts, nuts, screw hooks, rivets, cotters, cotter-pins, washers and similar articles
	76169100	Other : -- Cloth, grill, netting and fencing, of aluminium wire
	76169910	Expanded metal of aluminium and aluminium alloys
	76169920	Chains
	76169930	Bobbins
	76169990	Other
2.	8505	Electro-Magnets; Permanent Magnets And Articles Intended To Become Permanent Magnets After Magnetisation; Electro-Magnetic Or Permanent Magnet Chucks, Clamps And Similar Holding Devices; Electro-Magnetic Couplings, Clutches And Brakes; Electromagnetic Lifting Heads
	85051110	Ferrite cores
	85051190	Other
	85051900	Other
	85052000	Electro-magnetic couplings, clutches and brakes
	85059000	Other, including parts

4.1.2. Shri Amitabha Chaudhuri, CEO & Shri Roshal Lal, Sr. Manager of joined the meeting through video conferencing and explained the proposal.

4.1.3. The Approval Committee discussed the proposal in detail and after due deliberations approved the inclusion of proposed items in the LOA of the unit.

Item No. 5: Intimation for change in Shareholding pattern / Directors.

5.1: M/s. Coforge Limited (SEZ Developer, Unit-I, II, III & IV).

5.1.1. The Approval Committee discussed the proposal in detail and after due

deliberations took note of the following changes in shareholding pattern of M/s. Coforge Limited, Developer of the IT/ITES SEZ at Plot No. TZ-02 & 2A, Techzone, Greater Noida (Uttar Pradesh) and four units of M/s. Coforge Limited located in this SEZ. This is in terms of Instruction No. 109 dated 18.10.2021 issued by DOC, subject to compliance of terms & conditions prescribed therein:-

Name of shareholder	Shareholding pattern as on 31.03.2023.		Revised Shareholding pattern as on 01.09.2023.	
	No. of shares hold	% share	No. of shares hold	% share
Individuals, Corporates & others	69,37,875	11.36%	12987489	21.25%
FII & FPI	1,55,17,213	25.40%	20938391	34.26%
Financial Institutions & Mutual Funds	1,96,70,823	32.20%	26436424	43.27%
OCB & NRI	5,39,909	0.88%	744959	1.22%
Promoters	1,84,21,260	30.16%	0	0.00%
Total:	6,10,87,080	100.00%	6,11,07,263	100%

Item No.6: Non-submission of registered lease deed by SEZ unit:-

6.1. M/s. Inadev India Private Limited.

6.1.1. It was informed to the Approval Committee that M/s. Inadev India Private Limited has not submitted copy of registered lease deed in respect of '2856.66 Square feet area at portion of 12th floor, Tower-1' of its unit located in the Artha Infratech Pvt. Ltd. IT/ITES SEZ at Plot No. 21, Sector-Techzone IV, Greater Noida, within six months of issuance of LOA dated 23.11.2022. This is violation of proviso to Rule 18(2)(ii) of SEZ Rules, 2006.

6.1.2. The Approval Committee discussed the matter in detail and after due deliberations, the Committee decided to issue Show Cause Notice to M/s. Inadev India Private Limited for violation of proviso to Rule 18(2)(ii) of SEZ Rules, 2006 by not submitting the copy of registered lease deed within prescribed time frame. Further, the Committee empowered the DC to issue Show Cause Notice and adjudicate the matter, in terms of provisions of Foreign Trade (Development & Regulation) Act, 1992, as amended.

Supplementary agenda items:

1. Proposal for allotment of space to facility providers:-

1.1. M/s. Seaview Developers Pvt. Ltd., Developer.

1.1.1. M/s. Seaview Developers Private Ltd., developer has informed that they have entered into an agreement dated 13.09.2023 with M/s. Alan Ventures, Bengaluru, Karnataka, for a period of 3 years, to conduct Business Promotional Activities by setting up temporary structure / stall / Kiosk at designated place to be provided to them from time to time. This is in the common area of its IT/ITES SEZ at Plot No.20 & 21, Sector-135, Noida (Uttar Pradesh) and is for the following business promotional activities.

- i. Banking Financial Services and Insurance (BFSI)
- ii. Telecom
- iii. Centre for Development of Imaging Technology (DCIT)
- iv. Residential Real Estate
- v. Fast Moving Consumer Goods (FMCG)
- vi. Automobile

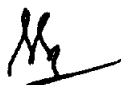
1.1.2. The developer has informed that the drive of the said activities shall be Brand Promotion, Product Display, Sponsorship, Public Performance, and such other activities as may be agreed from time to time, exclusively for the employees of the zone. All materials for setting up temporary structure / stall / Kiosk and products for carrying out these activities shall be brought by M/s. Alan Ventures into the zone on returnable basis and no sale of any kind of products to be taken in the zone. The developer has requested to grant permission for carrying the said activities.

1.1.3. Shri Sanjay Yadav & Shri Amrik Singh, authorised representatives of M/s. Seaview Developers Pvt. Ltd. joined the meeting through video conferencing and explained the proposal. The representatives informed that that name of activity at Sr. No.iii is inadvertently mentioned as "Centre for Development of Imaging Technology (CDIT)" and instead of "Consumer Durable & Information Technology (CDIT). They further informed that no lease deed will be executed with M/s. Alan Ventures as there is no specific space proposed to be allotted. Only temporary structure / stall / Kiosk at designated place to be provided to M/s. Alan Ventures from time to time with the common area of SEZ for Brand Promotion, Product Display, Sponsorship, Public Performance, and such other activities. Further, M/s. Alan Ventures will not avail any exemption of duty and taxes on structure / stall / Kiosk, products and fee paid to the developer.

1.1.4. The Committee observed that in terms of proviso to Sub Rule 5 of Rule (11) of the SEZ Rules, 2006, *the Developer may, with the prior approval of the Approval Committee, grant land or built up space on lease basis, for creating facilities such as canteen, public telephone booths, first aid centers, Crèche and such other facilities as may be required for the exclusive use of the Unit.*

1.1.5. The Approval Committee discussed the proposal in detail and keeping in view the proposed activities to be carried out in common area of SEZ and keeping in perspective that M/s. Alan Ventures will neither sell anything in the zone nor will it avail any tax / duty exemption to undertake such activities in SEZ, approved the proposal. This approval is subject to condition that no tax / duty benefit shall be available to M/s. Alan Ventures to undertake such activities in the processing area of the SEZ. M/s. Alan Ventures shall obtain necessary NOCs / clearances / approvals from the relevant statutory authorities, wherever applicable, for operation of such facility in SEZ premises. The Developer & M/s. Alan Ventures shall ensure compliance including space usage as per applicable building bye-laws/approved building plan. Moreover, M/s. Alan Ventures will maintain proper records of inward & outward movement of goods and produce the same before SEZ Customs as & when required. The Developer and M/s. Alan Ventures shall ensure statutory compliances with the provisions of SEZ Act, 2005 & rules/ instructions made thereunder from time to time. This approval is subject to submission of following documents:-

- i. Original agreement dated 08.08.2023 executed between SEZ Developer & M/s. Alan Ventures.



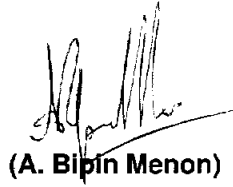
- ii. An Undertaking from M/s. Alan Ventures to the effect that they will not claim any direct/indirect tax benefit under SEZ scheme to undertake such activity in the processing area of SEZ. They will obtain requisite license and other clearances as applicable, prior to commencement of proposed facilities. They will maintain proper records of the goods purchased / sold or services provided as per relevant provisions of the revenue department of the State and / or Central Government as the case may be.

The meeting ended with a vote of thanks to the Chair.



(Surender Malik)

Joint Development Commissioner



(A. Bipin Menon)

Development Commissioner